

# GILBERT COURT

THESE DRAWINGS ARE SUPPLIED ON THE  
 CONDITION THAT IN THE EVENT OF ERROR  
 LIABILITY IS LIMITED TO RECTIFICATION OF THESE  
 DRAWINGS. ERRORS TO BE ADVISED BEFORE  
 CONSTRUCTION. WRITTEN DIMENSIONS TAKE  
 PRECEDENCE OVER SCALED DIMENSIONS.

PRIOR TO DEMOLITION, EXCAVATION OR  
 CONSTRUCTION ON THIS SITE, THE  
 RELEVANT AUTHORITY SHOULD BE  
 CONTACTED TO ASCERTAIN DETAILED  
 LOCATIONS OF ALL SERVICES

RETAINING WALLS, DRIVEWAY/CROSSOVER  
 AS NOTED ON PLAN ARE BY OWNER

SITE & SLAB HEIGHT LEVELS ARE TO BE  
 READ AS THAT STATED +/- 300mm DUE TO  
 VEGETATION STRIPPING, SETTLEMENT,  
 BULKING, etc. CLIENT ACCEPTS SUCH  
 AMENDED LEVELS WITHOUT FURTHER NOTICE

OWNER IS RESPONSIBLE TO IDENTIFY THE  
 SITE IF REQUIRED  
 OMP = OUTERMOST PROJECTION

LOCAL AUTHORITY  
 TOOWOOMBA RC (ROSALIE)

LAND AREA 4031 m<sup>2</sup>  
 SITE COVERAGE 8 %

EARTHWORKS  
 - BY CUT & FILL  
 - PROPOSED FGL RL 11.7  
 - PROPOSED FFL RL 12.0

MIN. 100m<sup>2</sup> ROOF WATER TO  
 RAINWATER STORAGE TANK AS  
 PER ROOF DRAINAGE PLAN

BALANCE & OVERFLOW  
 OVERLAND VIA BUBBLERS

EFFLUENT TO H&TP REPORT per  
 DRAINAGE DESIGN BY OTHERS  
 Proposed New Residence for

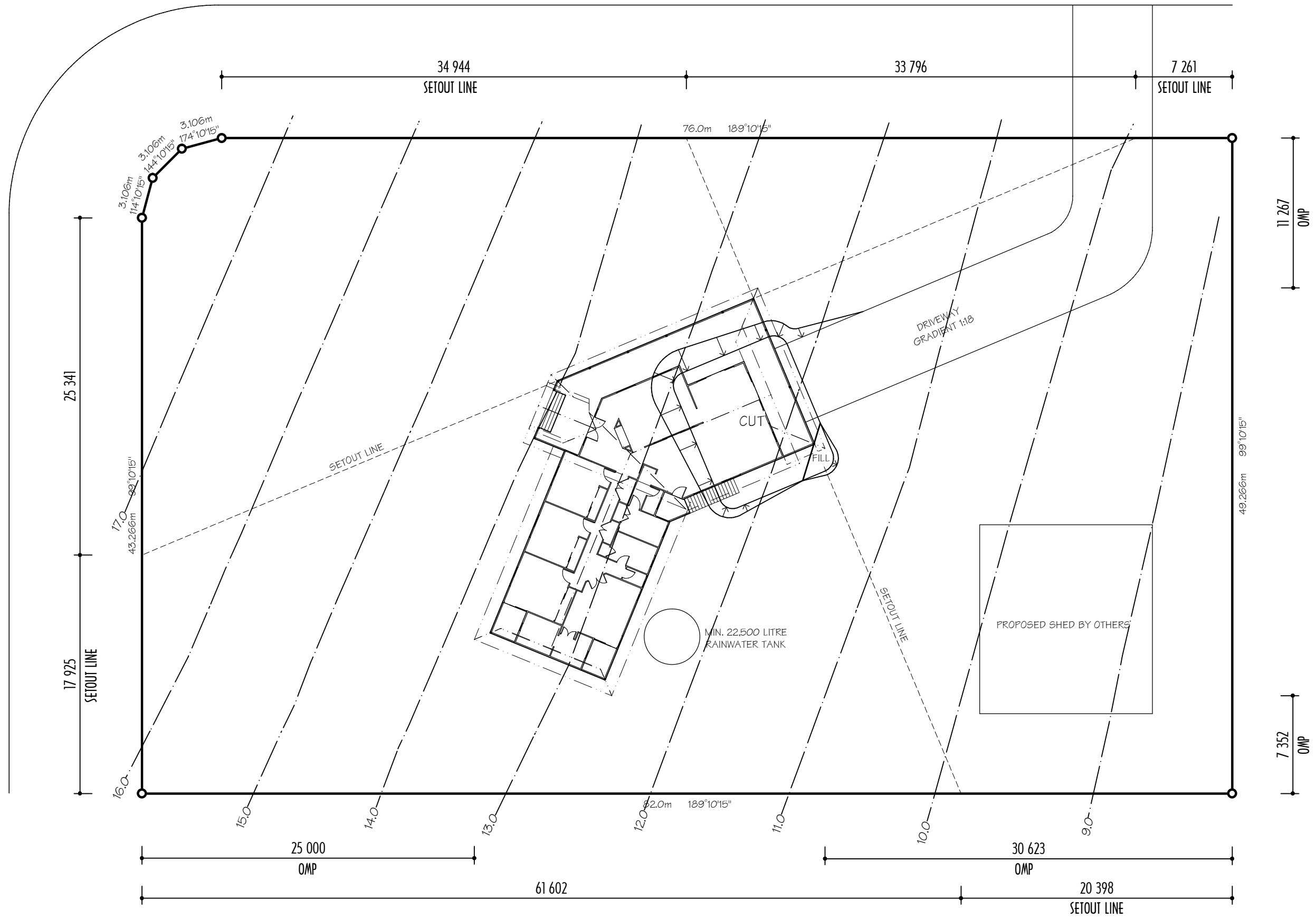
OWNER: .....

OWNER: .....

BUILDER: .....

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**SITE PLAN**  
 SCALE 1:300 on A3 paper





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1  
 2  
 3  
**ELEVATIONS**

DP DOWNPIPE

Ⓢ SMOKE ALARM TO BCA 3.7.2 & AS 3786

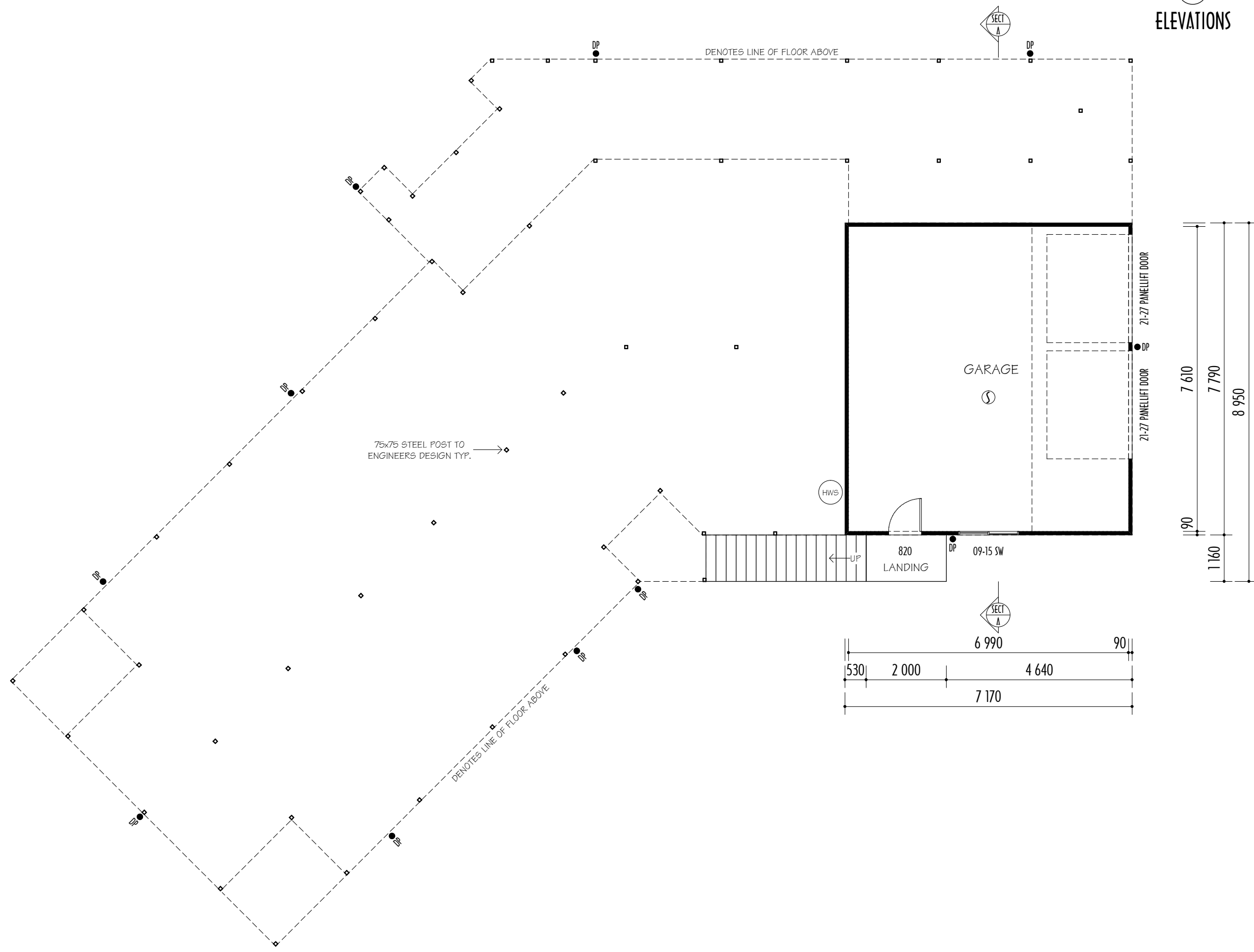
WALL THICKNESSES (U.N.O.)  
 EXTERNAL CLAD WALLS 90mm  
 DIMENSIONS ARE TO FRAME

WIND RATING N3  
 FIN CEIL HEIGHT 2400

**LOWER FLOOR**  
 ENCLOSED AREA 55.9 m<sup>2</sup>

**UPPER FLOOR**  
 ENCLOSED AREA 229.6 m<sup>2</sup>  
 VERANDAH AREA 81.3 m<sup>2</sup>  
 DECK AREA 9.4 m<sup>2</sup>  
 PORCH AREA 3.6 m<sup>2</sup>

**TOTAL AREA 379.8 m<sup>2</sup>**



6  
 5  
 4  
**ELEVATIONS**

Proposed New Residence for

OWNER: .....

OWNER: .....

BUILDER: .....

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**LOWER FLOOR**

SCALE 1:100 on A3 paper



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**PIERS, POSTS, COLUMNS SCHEDULE**

P1	100x100 TIMBER POST
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**WINDOW LEGEND**

SW	= SLIDING	X	= SLIDING PANE	O	= FIXED PANE
DH	= DOUBLE HUNG	FG	= FIXED GLASS		
OBG	= OBSCURE GLASS	LVR	= LOUVRES		
SD	= SLIDING DOOR	GB	= GLASS BLOCKS		

HEADS etc TO BE 2100 ABOVE MAIN SLAB FFL  
 1/2 WALLS MEASURED OFF MAIN SLAB FFL  
 DW, Fr, Fz, WM INDICATE POSITIONS ONLY

- DP DOWNPIPE  
 ☒ DENOTES BANK OF 3 EXTRA ROBE  
 SHELVES APPROX 500 WIDE  
 Ⓢ SMOKE ALARM TO BCA 3.7.2  
 & AS 3786

WALL THICKNESSES (U.N.O.)  
 EXTERNAL CLAD WALLS 90mm  
 INTERNAL STUD WALLS 70mm  
 DIMENSIONS ARE TO FRAME

WIND RATING N3  
 FIN CEIL HEIGHT 2400 & 3000  
 SHEET METAL ROOF @ 15° PITCH  
 TYPICAL EAVE OVERHANG 900mm

**LOWER FLOOR**

ENCLOSED AREA	55.9 m <sup>2</sup>
---------------	---------------------

**UPPER FLOOR**

ENCLOSED AREA	229.6 m <sup>2</sup>
VERANDAH AREA	81.3 m <sup>2</sup>
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**TOTAL AREA 379.8 m<sup>2</sup>**

Proposed New Residence for

OWNER: .....

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BUILDER: .....

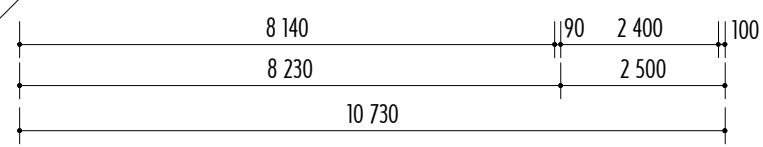
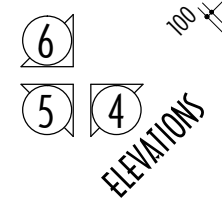
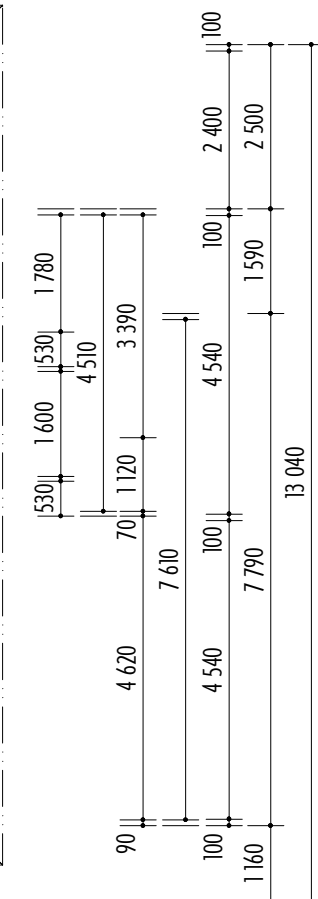
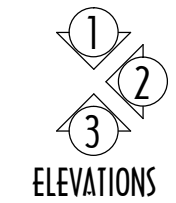
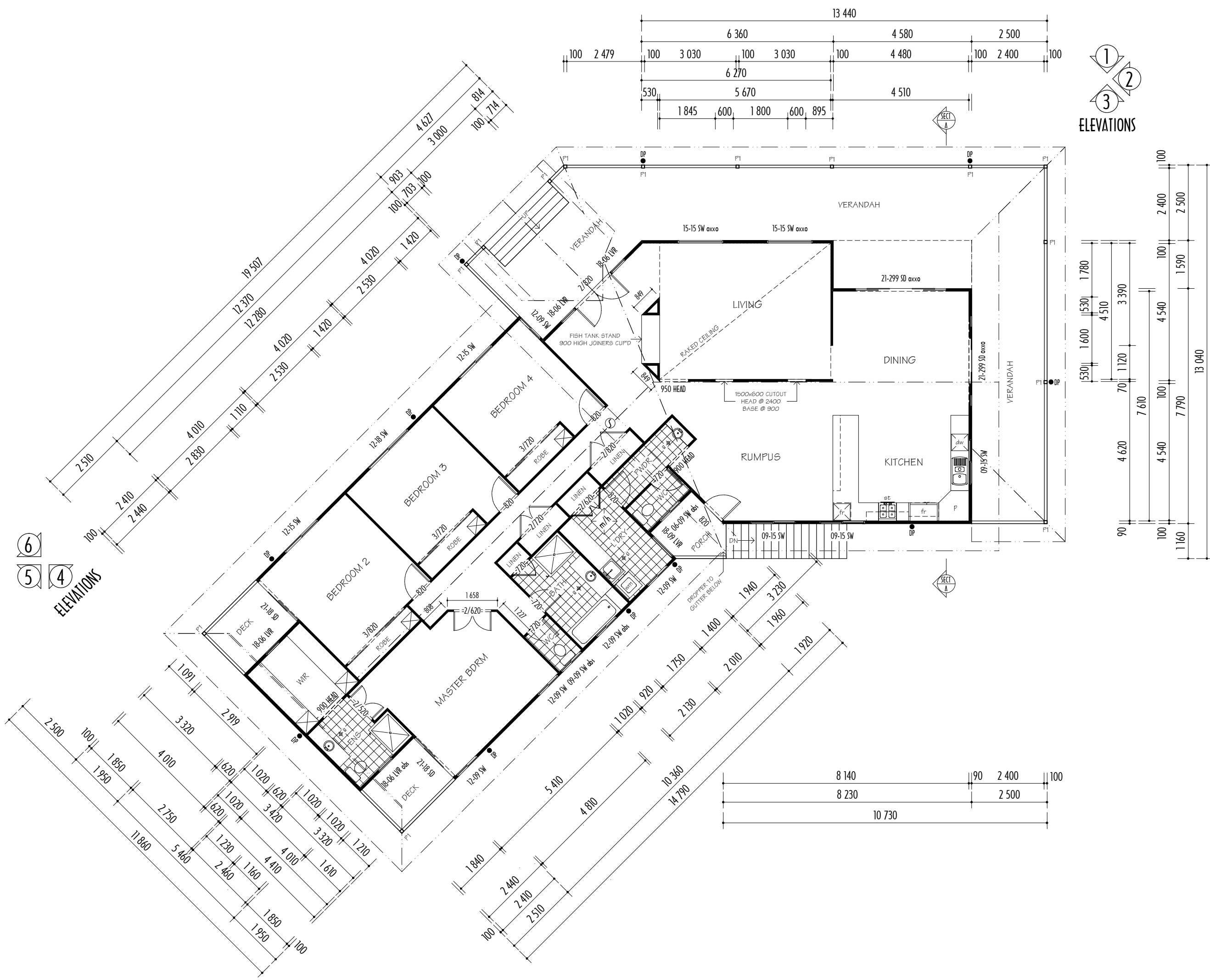
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**UPPER FLOOR**

SCALE 1:115 on A3 paper





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**PIERS, POSTS, COLUMNS SCHEDULE**  
 P1 100x100 TIMBER POST

**WINDOW LEGEND**  
 SW = SLIDING X = SLIDING PANE O = FIXED PANE  
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 OBS = OBSCURE GLASS LVR = LOUVRES  
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 FIN CEIL HEIGHT 2400 & 3000  
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UPPER FLOOR	
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PORCH AREA	3.6 m <sup>2</sup>
<b>TOTAL AREA</b>	<b>379.8 m<sup>2</sup></b>

Proposed New Residence for

OWNER: .....

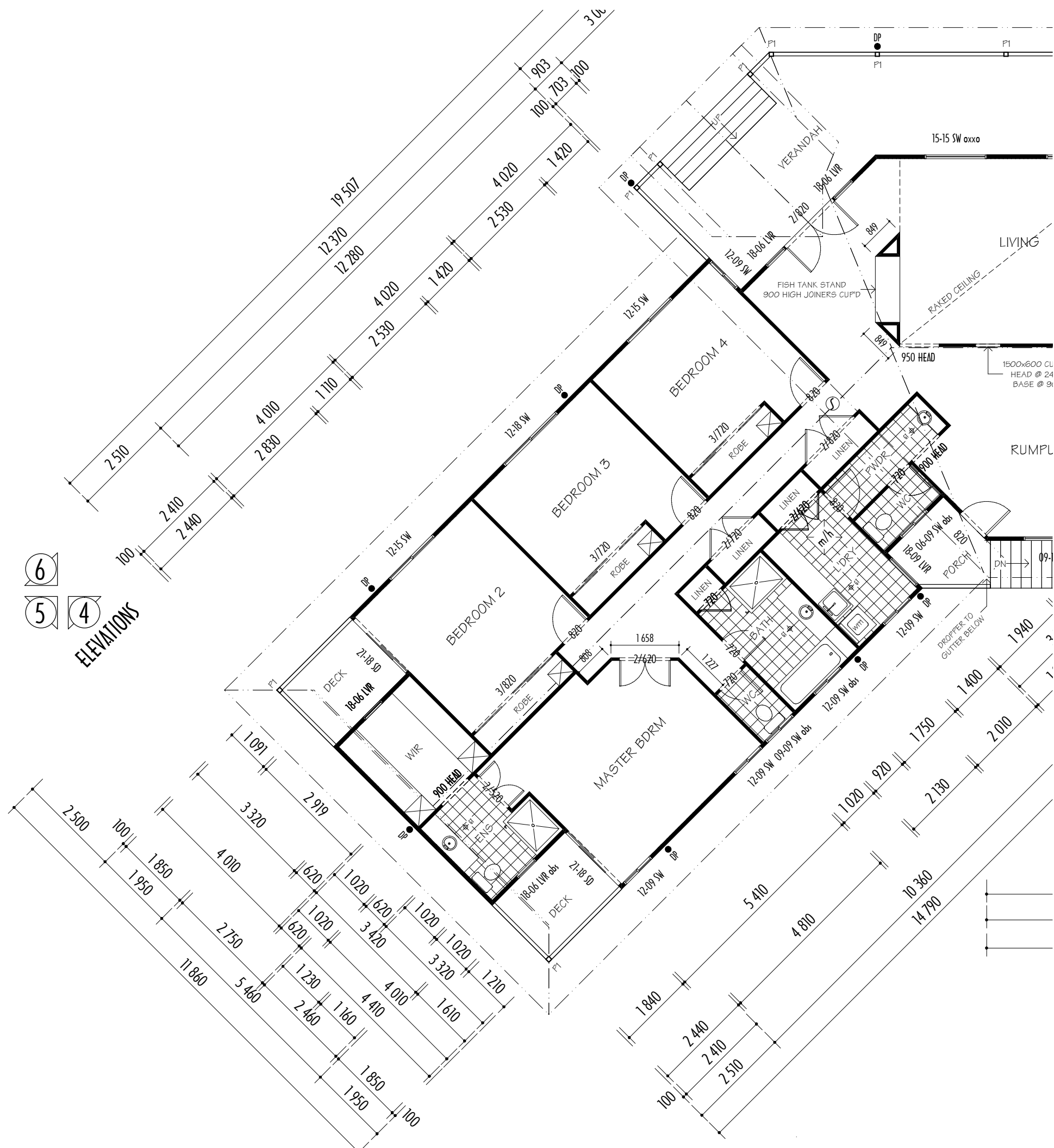
OWNER: .....

BUILDER: .....

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**UPPER FLOOR**

SCALE 1:100 on A3 paper



6  
 5 4  
 ELEVATIONS



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Proposed New Residence for

OWNER: .....

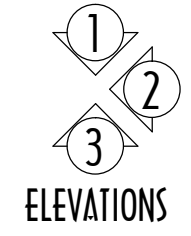
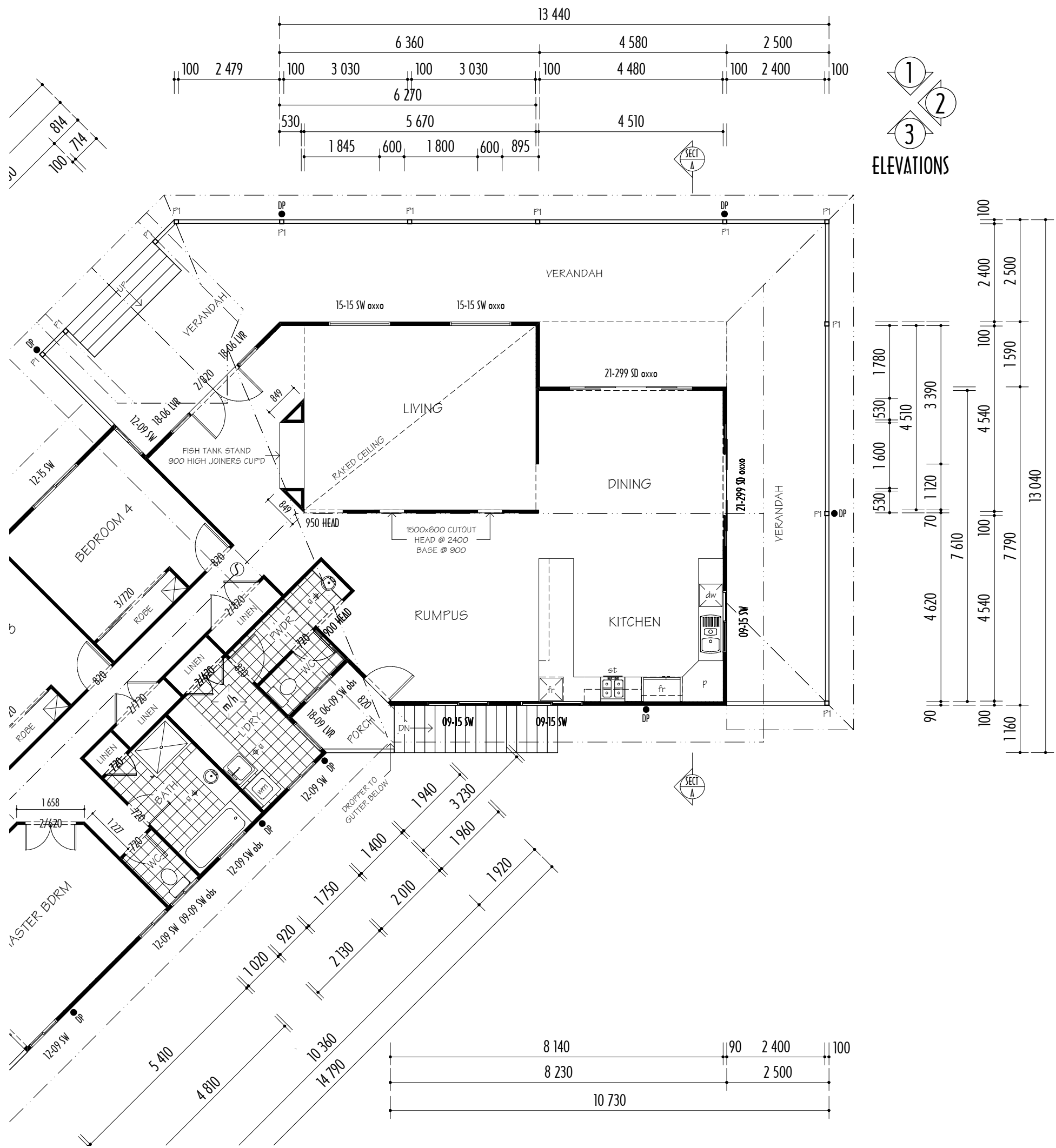
OWNER: .....

BUILDER: .....

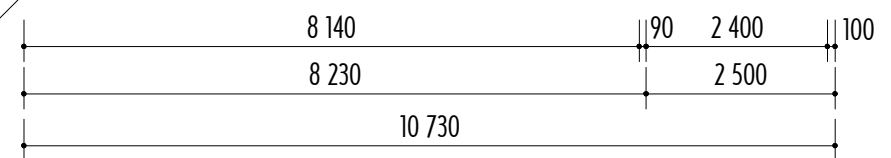
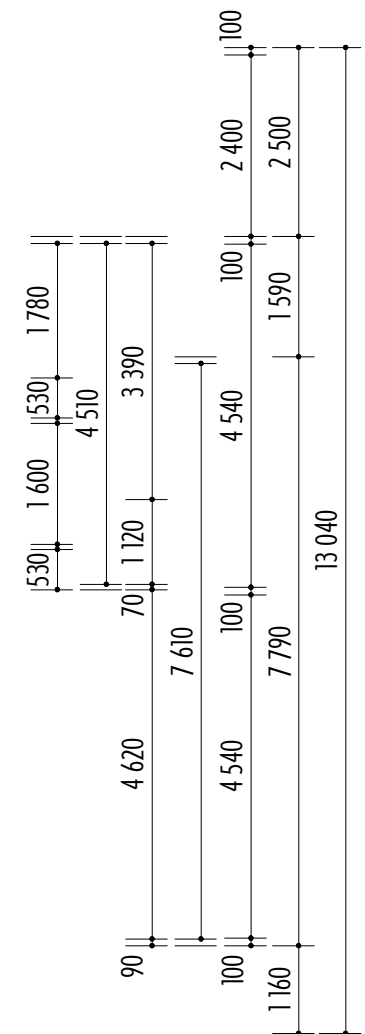
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**UPPER FLOOR**

SCALE 1:100 on A3 paper



ELEVATIONS





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WINDOWS ETC SHOWN ARE STANDARD  
 BLOCKS ONLY - REFER FLOOR PLAN  
 FOR DETAIL

TYPICALLY OBSCURE WHITE GLASS TO  
 WC, BATHROOM & ENSUITE WINDOWS

GABLE FINISHES AS PER COLOUR  
 SELECTION SCHEDULE

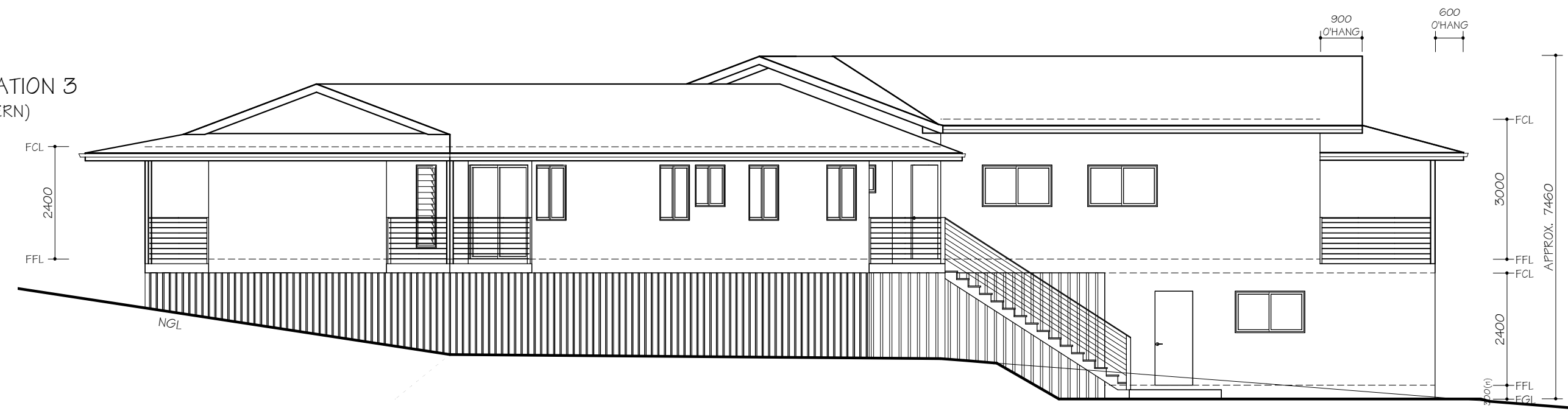
ELEVATION 1  
 (EASTERN)



ELEVATION 2  
 (SOUTHERN)



ELEVATION 3  
 (WESTERN)



Proposed New Residence for

OWNER: .....

OWNER: .....

BUILDER: .....

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**ELEVATIONS**

SCALE 1:100 on A3 paper

ELEVATION 4  
(SOUTH-WEST)



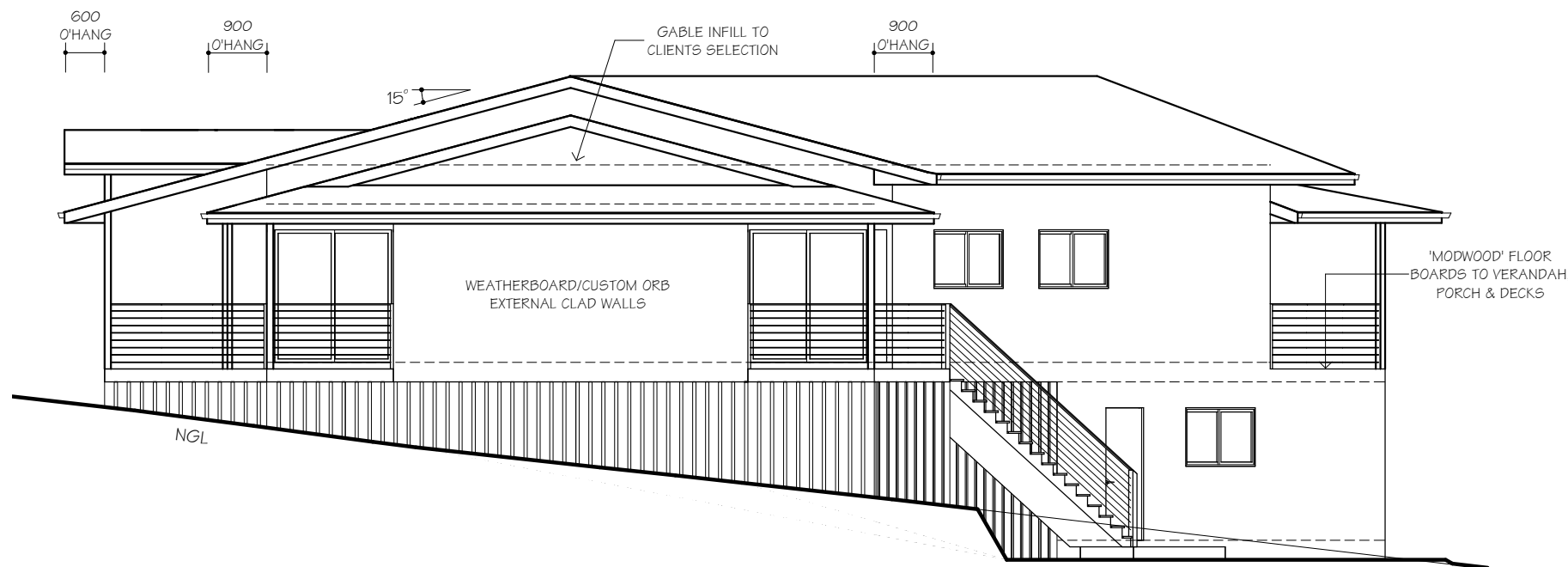
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BLOCKS ONLY - REFER FLOOR PLAN  
FOR DETAIL

TYPICALLY OBSCURE WHITE GLASS TO  
WC, BATHROOM & ENSUITE WINDOWS

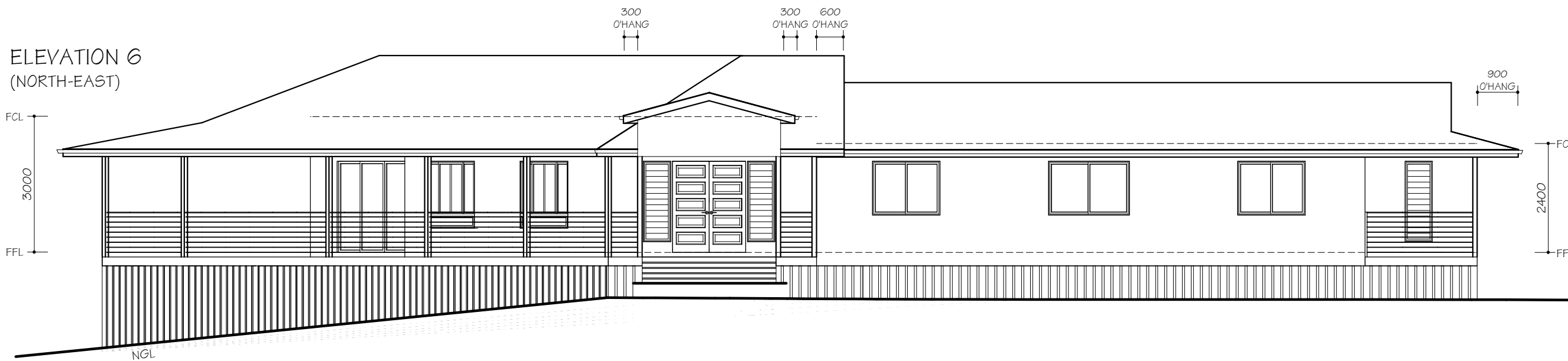
GABLE FINISHES AS PER COLOUR  
SELECTION SCHEDULE

ELEVATION 5  
(NORTH-WEST)



Proposed New Residence for

ELEVATION 6  
(NORTH-EAST)



OWNER: .....

OWNER: .....

BUILDER: .....

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**ELEVATIONS**

SCALE 1:100 on A3 paper

# GENERAL SPECIFICATION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND THE BUILDING ACT 1975.

CONCRETE FOOTINGS TO BE AS PER ENGINEERS RECOMMENDATIONS.

TERMITE PROTECTION IS TO COMPLY WITH AUSTRALIAN STANDARDS 3660.1

ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH AS 1684 & TIMBER MANUFACTURERS SPECIFICATIONS.

WALL FRAMING TO BE SPECIFIED BY FRAME/TRUSS SUPPLIER (MINIMUM NOTED HEREUNDER)

LOAD BEARING WALLS -

TOP PLATE 2/70x35 MGP15  
 BOTTOM PLATE 70x35 MGP12  
 STUDS 70x35 MGP12 @ 450 CRS max.

NON LOAD BEARING WALLS -

TOP PLATE 70x35 MGP10  
 BOTTOM PLATE 70x35 MGP10  
 STUDS 70x35 MGP10 @ 450 CRS max.  
 NOGGINGS 70x35 MGP10 ONE ROW TO LOADBearing WALL  
 70x35 MGP10 ONE ROW TO NON LOADBearing WALL

ROOF FRAME - PRE FABRICATED TRUSSES - @ 600mm CENTRES MAX. TILED ROOFS  
 - @ 900mm CENTRES MAX. METAL ROOFS

FIXED ACCORDING TO MANUFACTURERS SPECIFICATIONS.

ROOF BATTENS - 75x38 F14 @ 900 CRS MAX.

WALL LINING - 10mm PLASTERBOARD

CEILING LINING - 10mm PLASTERBOARD

WET AREA LINING - 6mm VILLABOARD & WR 10mm PLASTERBOARD

# SUSTAINABLE HOUSING

IN CLASS 1 AND CLASS 2 BUILDINGS, IN AREAS SERVICED BY A WATER SERVICE PROVIDER, TAP WARE WITH A MINIMUM 3-STAR WATER EFFICIENCY LABELLING AND STANDARDS RATING SERVES:

- (A) LAUNDRY TUBS; AND
- (B) KITCHEN SINKS; AND
- (C) BASINS.

IN CLASS 1 AND CLASS 2 BUILDINGS, IN AREAS SERVICED BY A WATER SERVICE PROVIDER, ALL SHOWER ROSES HAVE A MINIMUM 3-STAR WATER EFFICIENCY LABELLING AND STANDARDS RATING.

IN CLASS 1 AND CLASS 2 BUILDINGS, IN AREAS SERVICED BY A WATER SERVICE PROVIDER, ALL TOILETS CISTERNS:

- (A) HAVE A DUAL FLUSH FUNCTION AND HAVE A MINIMUM 4-STAR WATER EFFICIENCY LABELLING AND STANDARDS RATING; AND
- (B) ARE COMPATIBLE WITH THE SIZE OF THE TOILET BOWL TO ALLOW FOR PROPER FUNCTIONING OF THE TOILET.

CLASS 1 BUILDINGS, INCLUDING A VERANDAH, BALCONY OR AN ENCLOSED CLASS 10A BUILDING ATTACHED TO A CLASS 1 BUILDING, HAVE:

- (A) ARTIFICIAL LIGHTING THAT COMPLIES WITH PART 3.12.5.5 OF BCA 2010 (VOLUME 2); OR
- (B) ENERGY EFFICIENT LIGHTING FOR A MINIMUM OF 80 PER CENT OF TOTAL FIXED ARTIFICIAL LIGHTING.

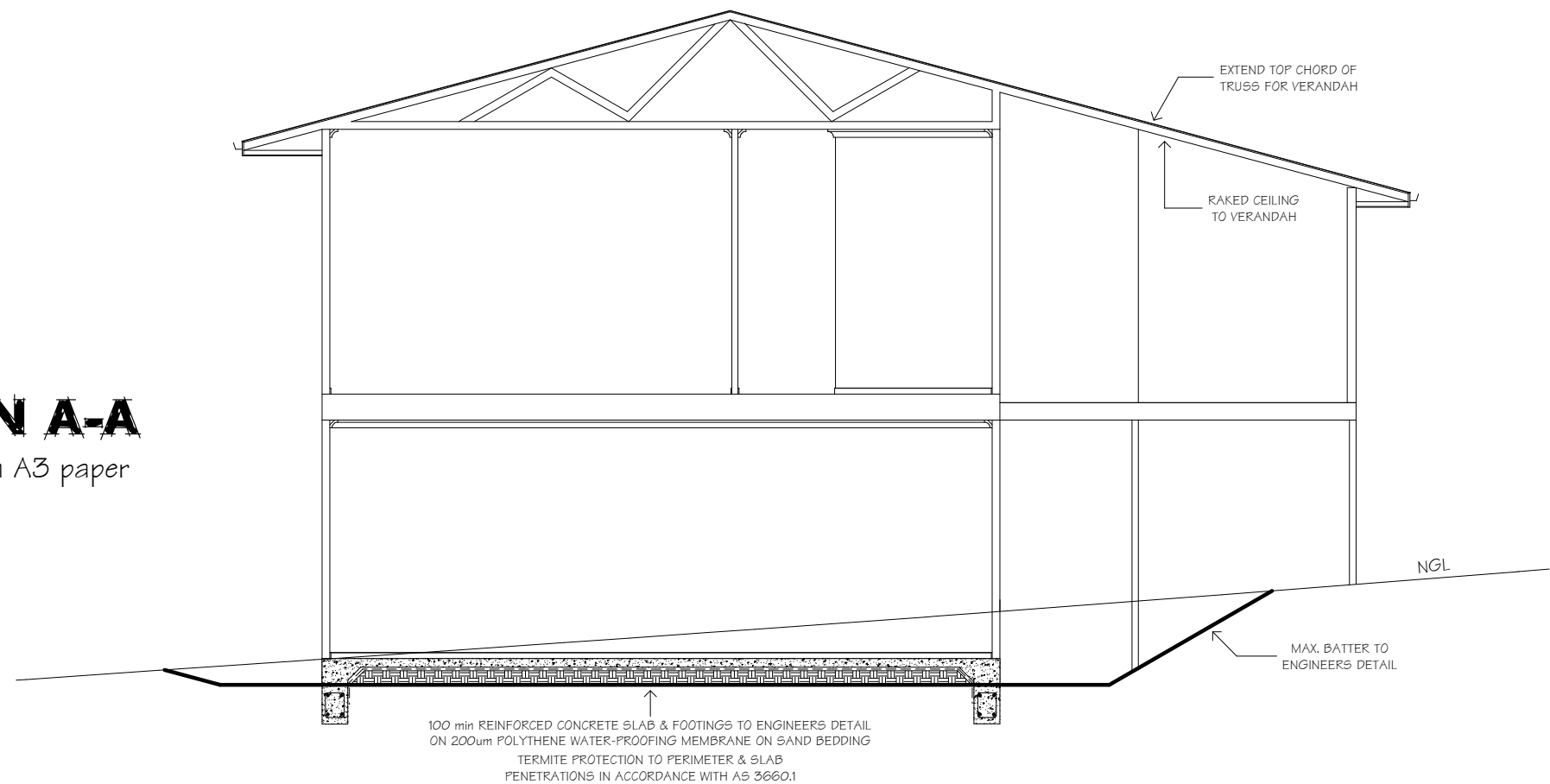
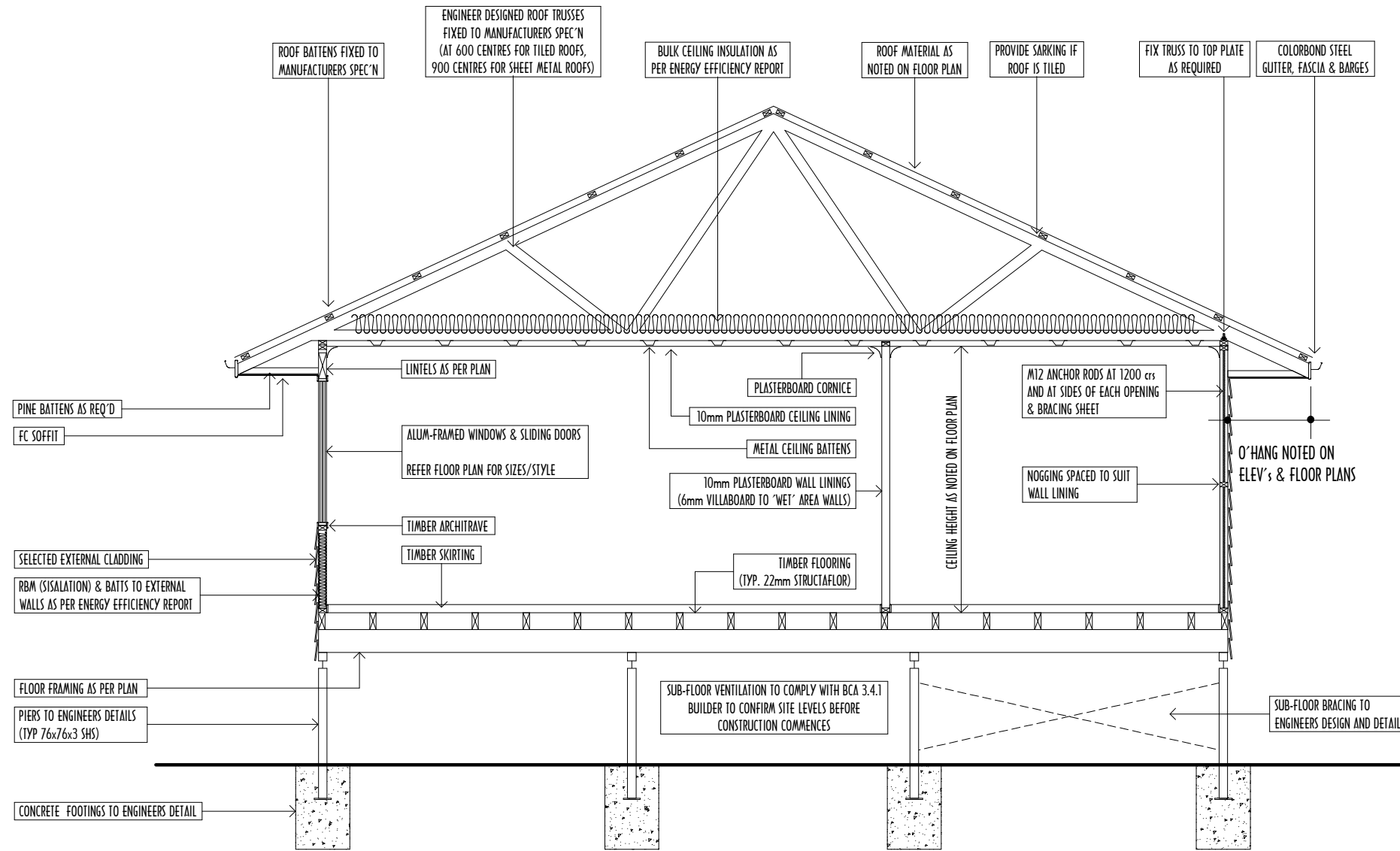
FOR HOT WATER SYSTEMS FOR A CLASS 1 BUILDING:

- (A) DISREGARD BCA 2010 (VOLUME 2) 3.12.5.6; AND INSTEAD
- (B) COMPLY WITH THE QUEENSLAND PLUMBING AND WASTEWATER CODE.

IN CLASS 1 AND CLASS 2 BUILDINGS, NEW AND REPLACEMENT AIR-CONDITIONERS HAVE AN EER OF AT LEAST 2.9.

# SECTION A-A

SCALE 1:75 on A3 paper



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NO ALLOWANCE HAS BEEN MADE FOR ANY REQUIREMENTS MADE BY ANY AUTHORITY FOR THE SITE BEING WITHIN A FLOOD-AFFECTED AREA OR BUSHFIRE AFFECTED AREA

TRUSS MANUFACTURER/SUPPLIER TO CONFIRM LINTEL SIZES & TIE-DOWN etc

Proposed New Residence for

OWNER: .....

OWNER: .....

BUILDER: .....

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**TYP. SECTION**

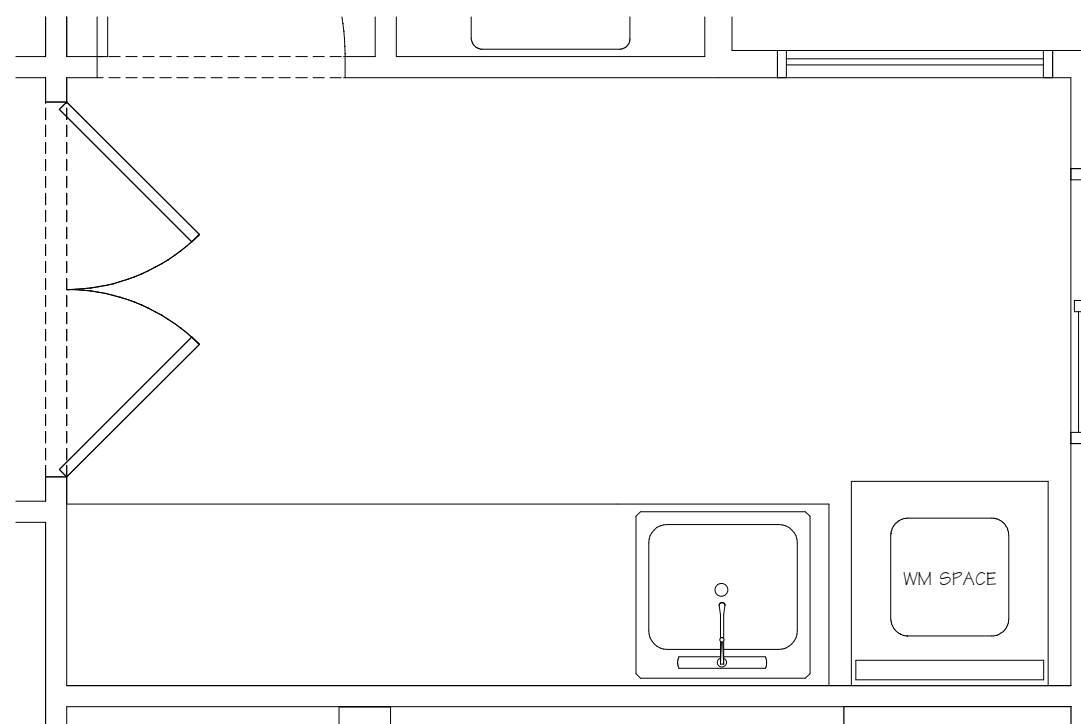
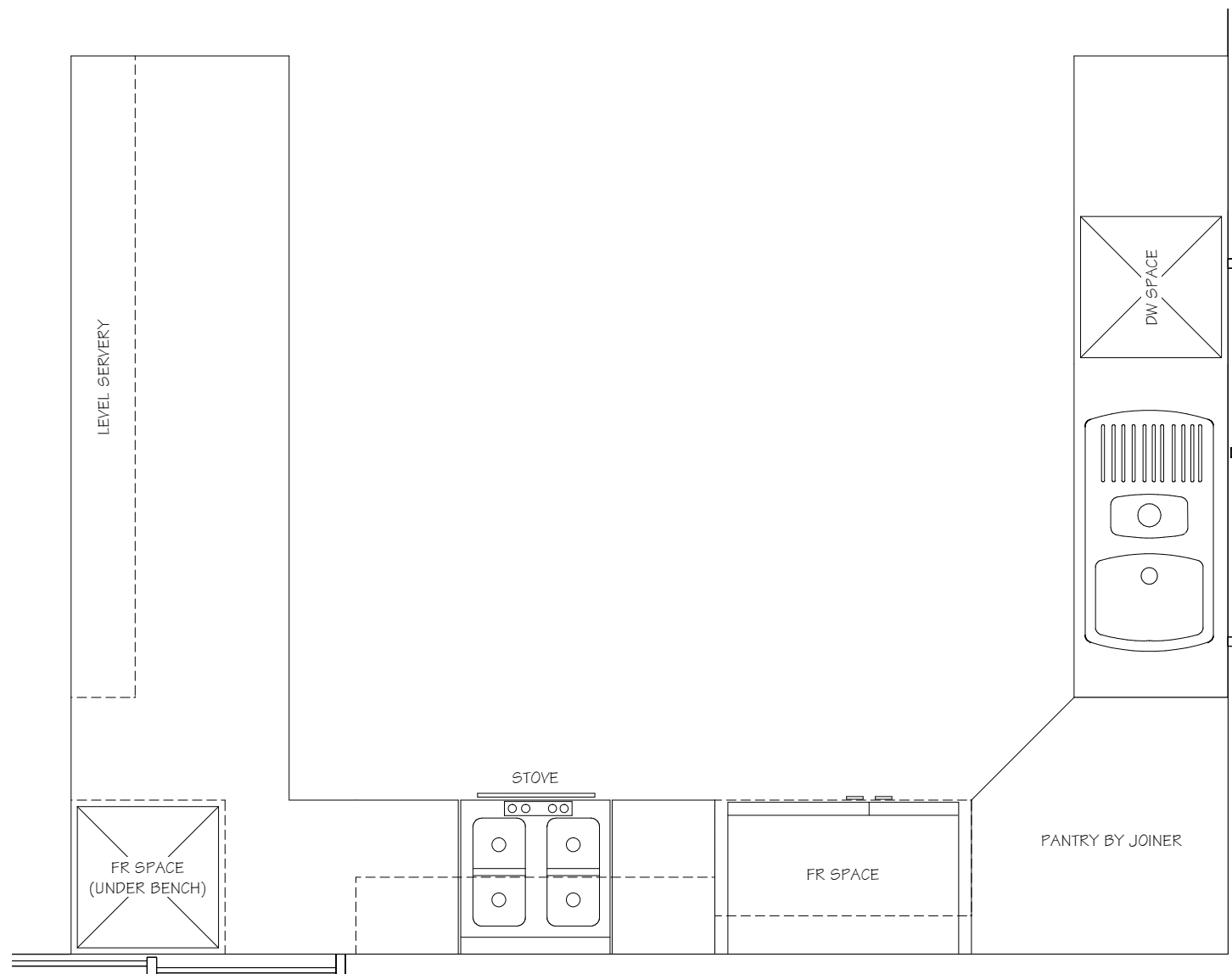
SCALE 1:50 on A3 paper



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VANITIES DEPICTED ON PLAN  
ARE INDICATIVE ONLY  
PENDING SELECTION BY  
COLOUR SELECTION DOCUMENT

**JOINERY LAYOUT TO BE  
FINALISED PRIOR TO SITE  
COMMENCEMENT**



Proposed New Residence for

OWNER: .....

OWNER: .....

BUILDER: .....

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**JOINERY**

SCALE 1:25 on A3 paper












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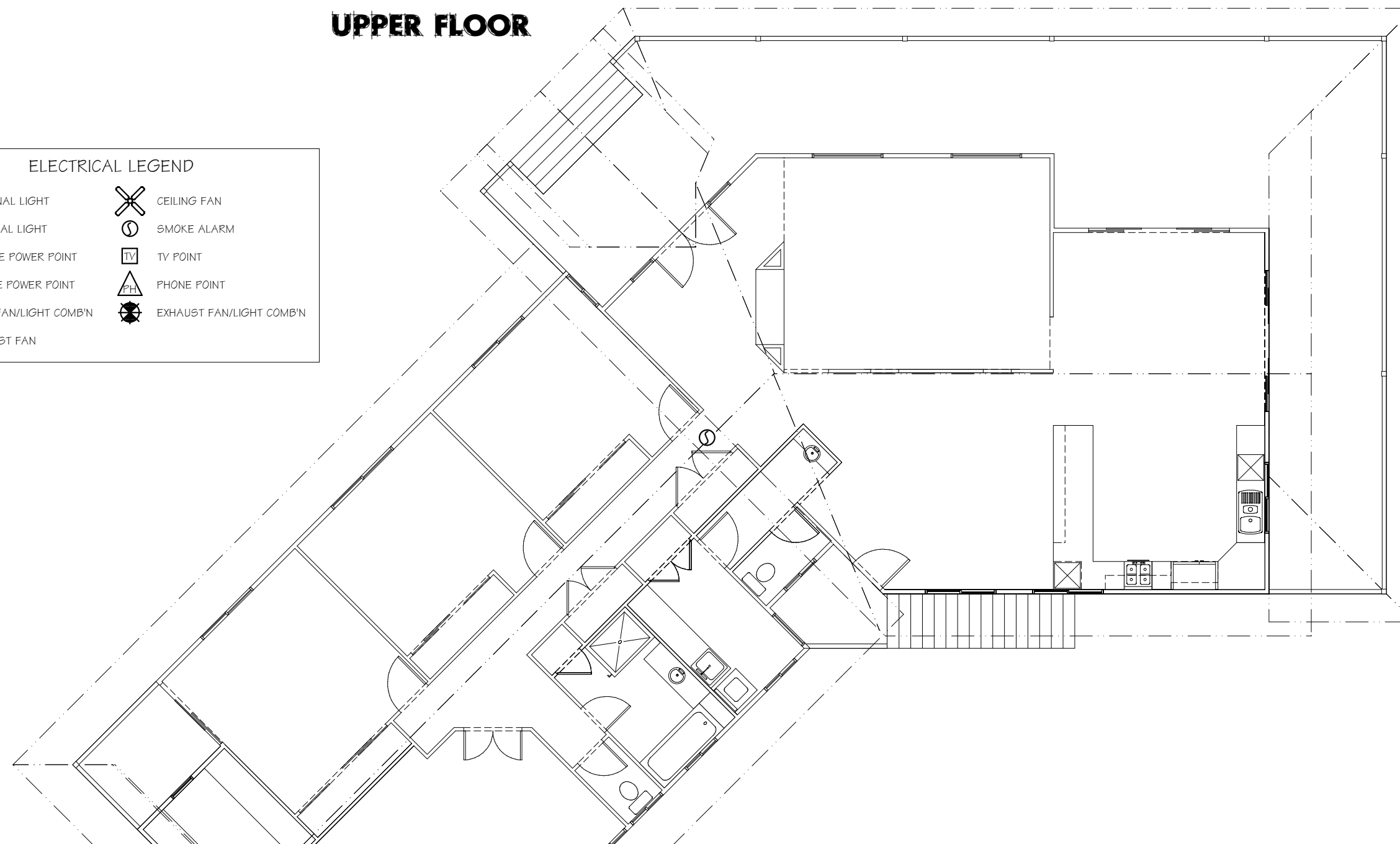
EXTERIOR LIGHTS TO BE  
 POSITIONED CLEAR OF SECURITY  
 SCREENS

METERBOX TO BE POSITIONED ON  
 SITE BY ELECTRICIAN

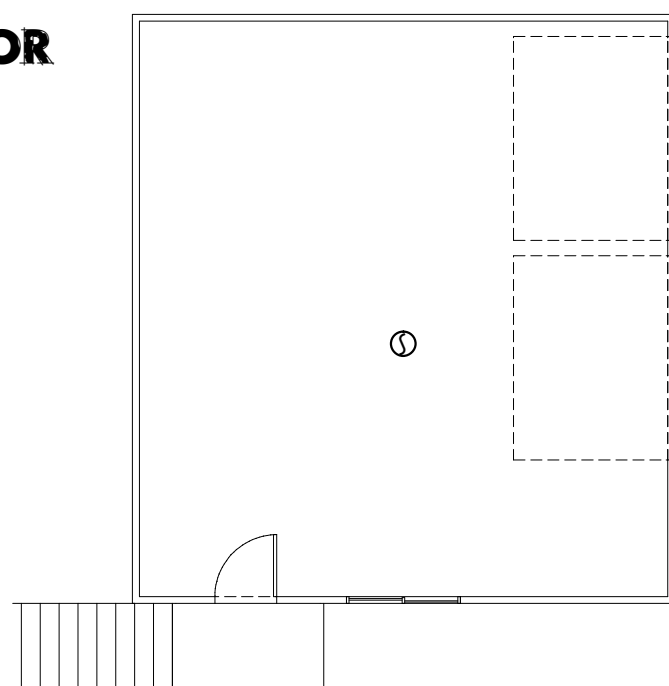
**OWNER TO ENSURE LIGHTING  
 COMPLIES WITH ENERGY EFFICIENT  
 REQUIREMENTS - 80% OF TOTAL  
 FIXED LIGHT FITTINGS TO BE  
 ENERGY EFFICIENT GLOBES**

# UPPER FLOOR

ELECTRICAL LEGEND			
	EXTERNAL LIGHT		CEILING FAN
	INTERNAL LIGHT		SMOKE ALARM
	DOUBLE POWER POINT		TV POINT
	SINGLE POWER POINT		PHONE POINT
	HEAT/FAN/LIGHT COMB'N		EXHAUST FAN/LIGHT COMB'N
	EXHAUST FAN		



# LOWER FLOOR



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OWNER: .....

OWNER: .....

BUILDER: .....

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## ELECTRICAL

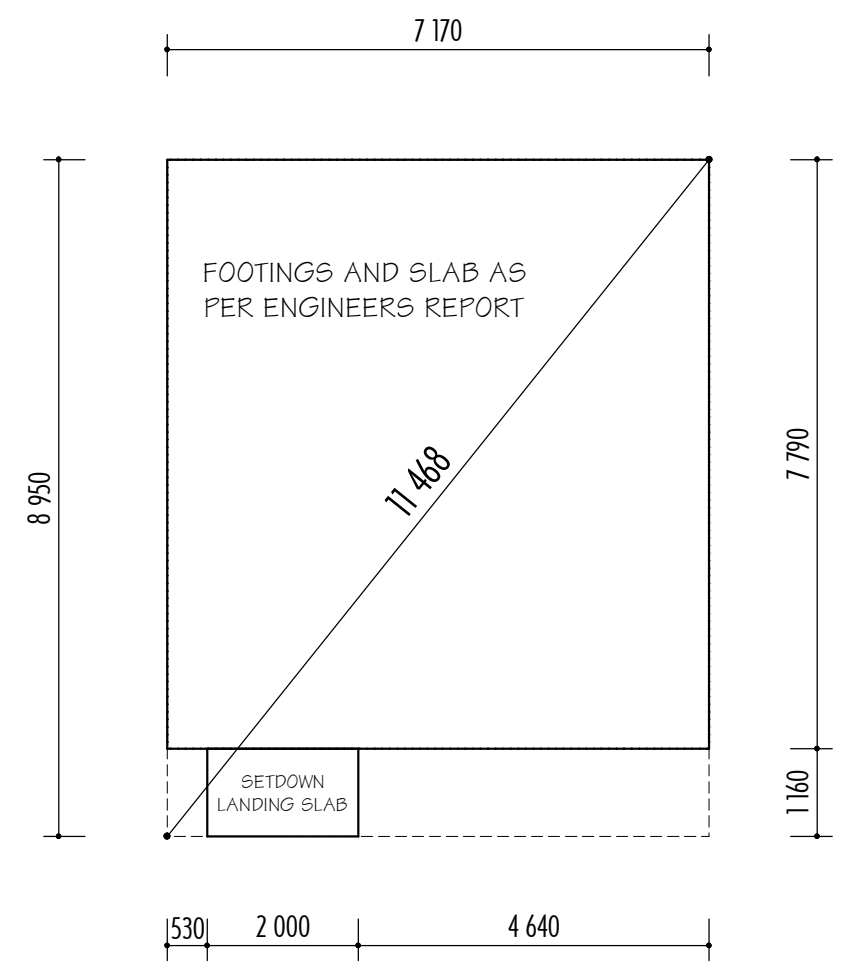
SCALE 1:100 on A3 paper

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ALL SETOUT DIMENSIONS ARE  
 SHOWN TO THE OUTSIDE FACE  
 OF EXTERNAL WALLS

CONCRETOR IS TO VERIFY  
 ALL DIMENSIONS PRIOR  
 TO COMMENCING WORK

THIS PLAN IS TO BE READ  
 IN CONJUNCTION WITH  
 THE ENGINEERS REPORT



Proposed New Residence for

OWNER: .....

OWNER: .....

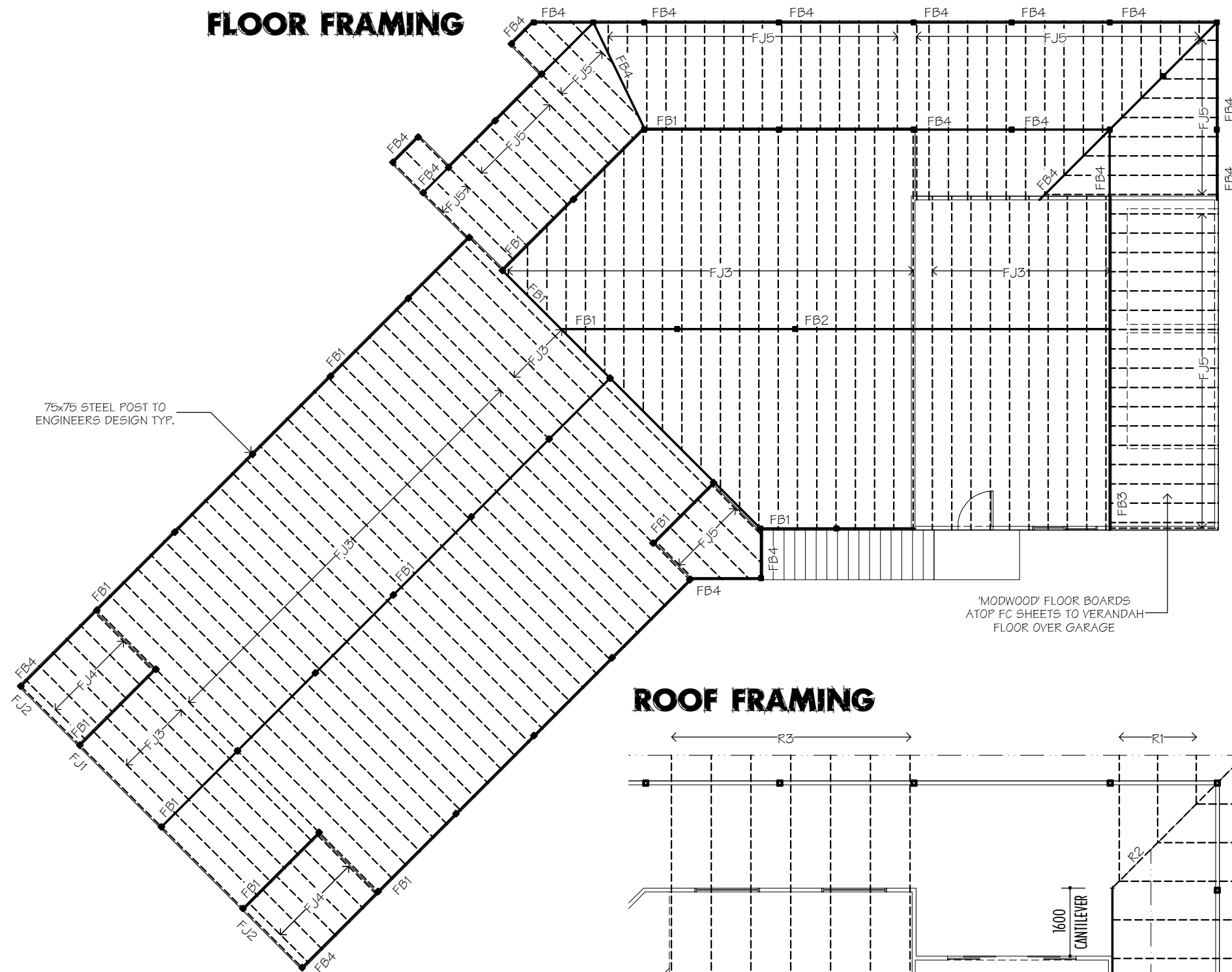
BUILDER: .....

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**SLAB PLAN**

SCALE 1:100 on A3 paper

# FLOOR FRAMING



## FLOOR FRAMING SCHEDULE

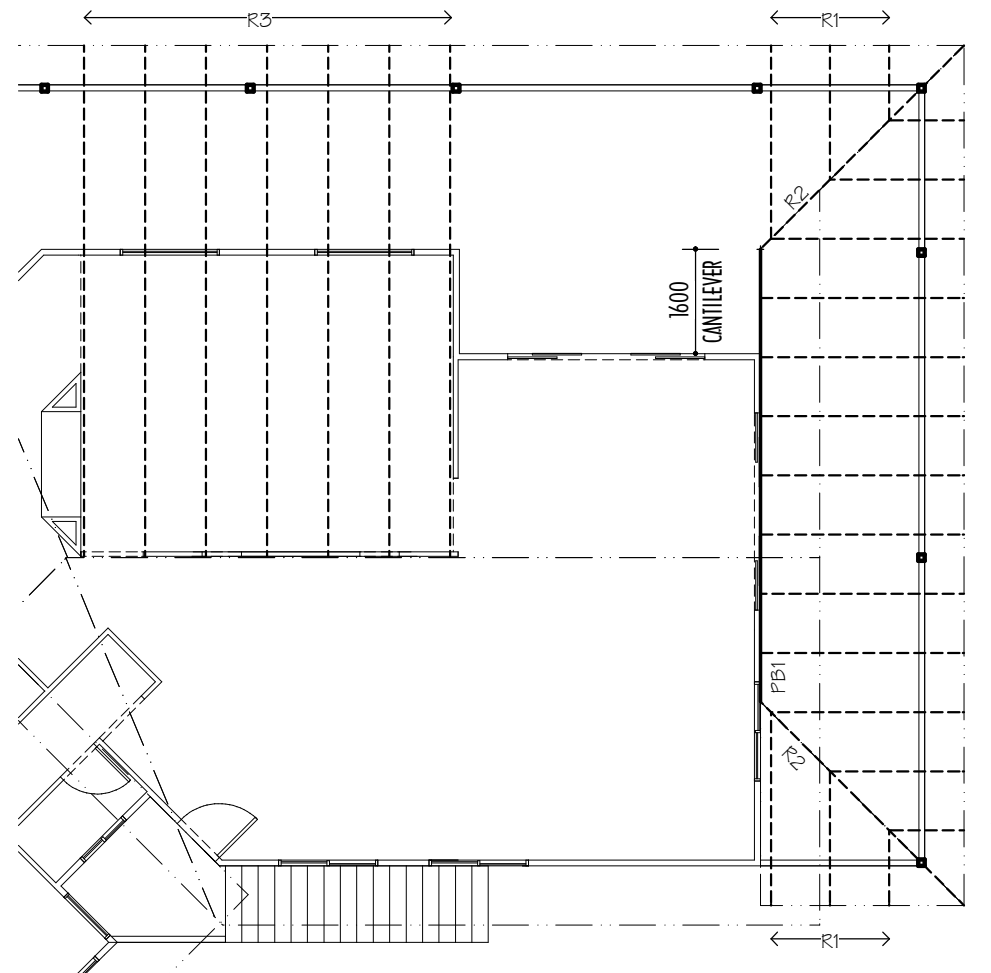
FB1	FLOOR BEARER	300x63	LVL	CONT. or SINGLE SPAN
FB2	FLOOR BEARER	295x85	17C	CONT. SPAN
FB3	FLOOR BEARER	ENGINEER	DESIGNED	SINGLE SPAN
FB4	DECK BEARER	200x75	F14 UNS HWD	CONT. or SINGLE SPAN
FJ1	FLOOR JOIST	2/200x90	1-BEAM	CONT. SPAN
FJ2	DECK JOIST	2/125x50	F14 UNS HWD	SINGLE SPAN
FJ3	FLOOR JOIST	200x90	1-BEAM	CONT. SPAN @ 450crs
FJ4	DECK JOIST	125x50	F14 UNS HWD	SINGLE SPAN @ 450crs
FJ5	DECK JOIST	150x50	F14 UNS HWD	CONT. or SINGLE SPAN @ 450crs

POLISHED FLOOR BOARDS TO LIVING AREAS  
 CARPET TO BEDROOMS  
 'MODWOOD' FLOOR BOARDS TO VERANDAH, PORCH & DECKS

HYNE ENGINEERED TIMBERS USED FOR WEATHER EXPOSED APPLICATIONS ARE TO BE TREATED AND MAINTAINED AS PER MANUFACTURERS SPECIFICATIONS. REFER 'HYNE - TECHNICAL DATA SHEET NO. 6' FOR DETAILS. ALL TECHNICAL DATA SHEETS CAN BE FOUND ON THEIR WEBSITE [www.hyne.com.au](http://www.hyne.com.au)

OWNER IS TO UNDERTAKE A REGULAR MAINTENANCE AND INSPECTION PROGRAM OF THE EXTERNAL EXPOSED MEMBERS OF THE DECK

# ROOF FRAMING



## ROOF FRAMING SCHEDULE

PB1	POLE PLATE	2/170x35	MGP10	CONT. SPAN FIXED @ 900crs
R1	RAFTER	120x35	MGP10	SINGLE SPAN @ 900crs
R2	HIP RAFTER	220x35	MGP10	SINGLE SPAN
R3	RAFTER	190x35	MGP10	CONT. SPAN @ 900crs

Proposed New Residence for

OWNER: .....

OWNER: .....

BUILDER: .....

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